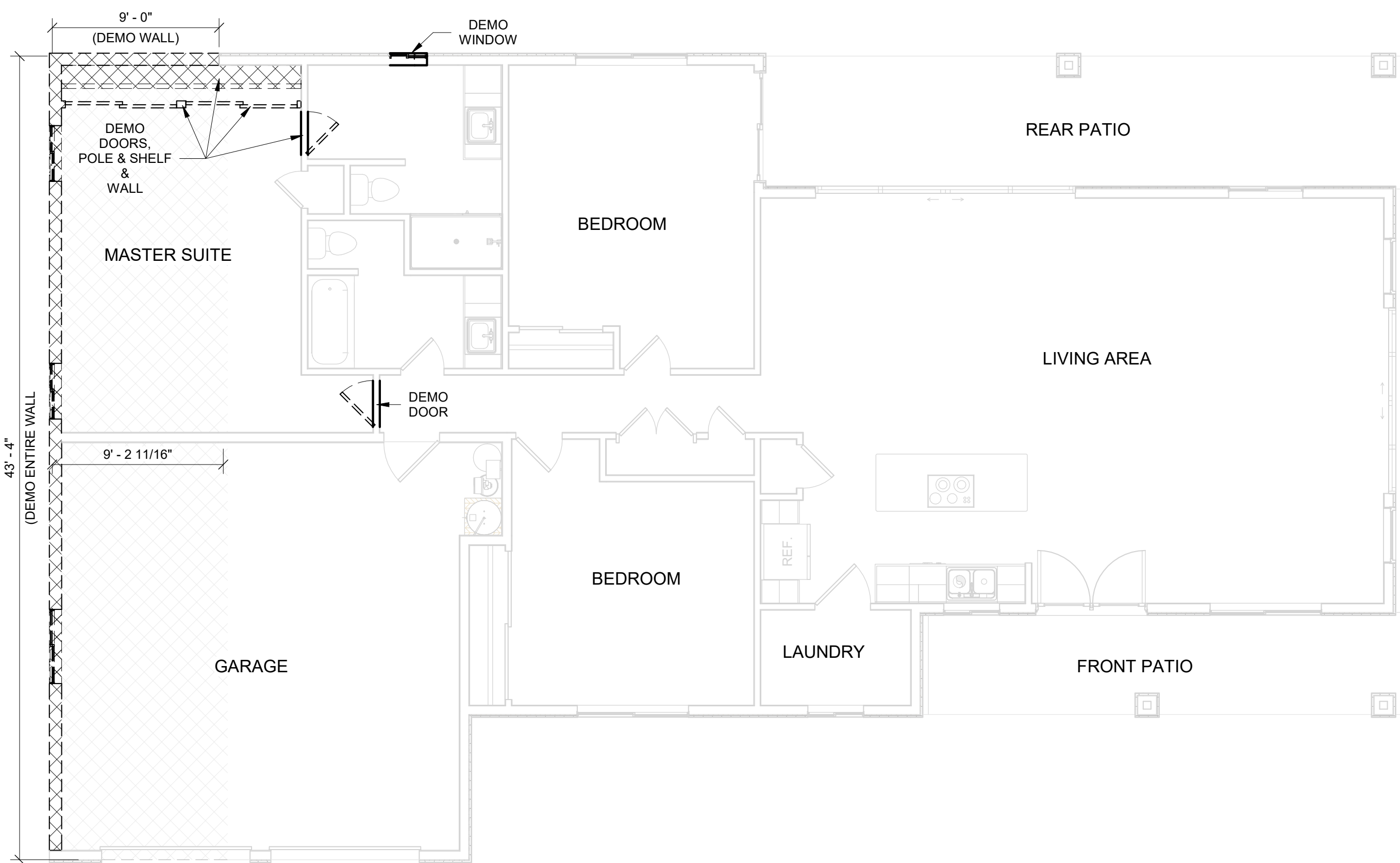
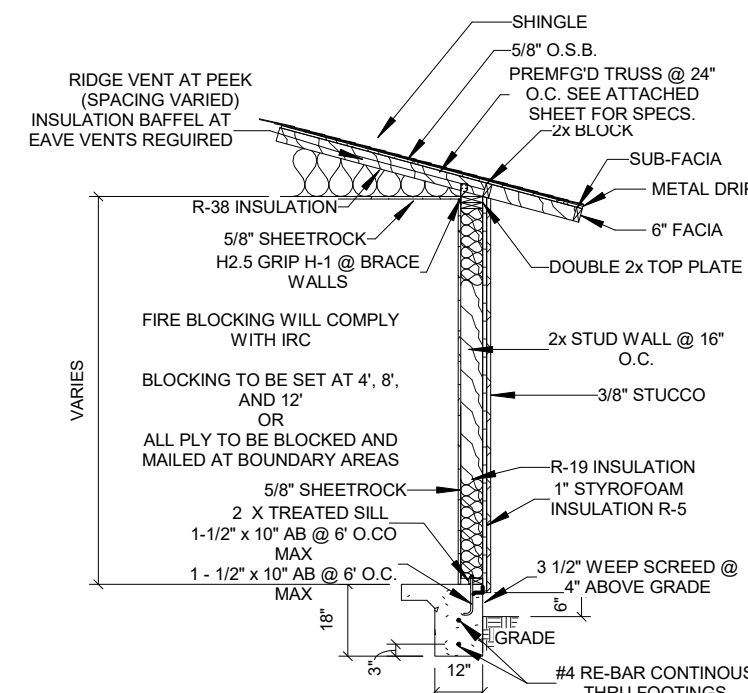


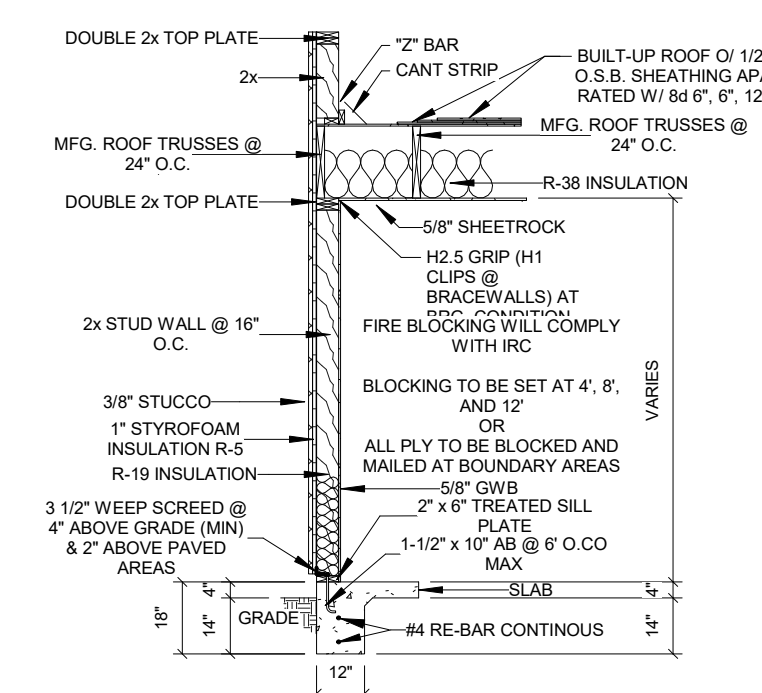
1 (Existing) Floor Plan  
3/16" = 1'-0"



2 (Demo) Floor Plan  
3/16" = 1'-0"



4 Typical Wall Section - Shingle  
1" = N.T.S.



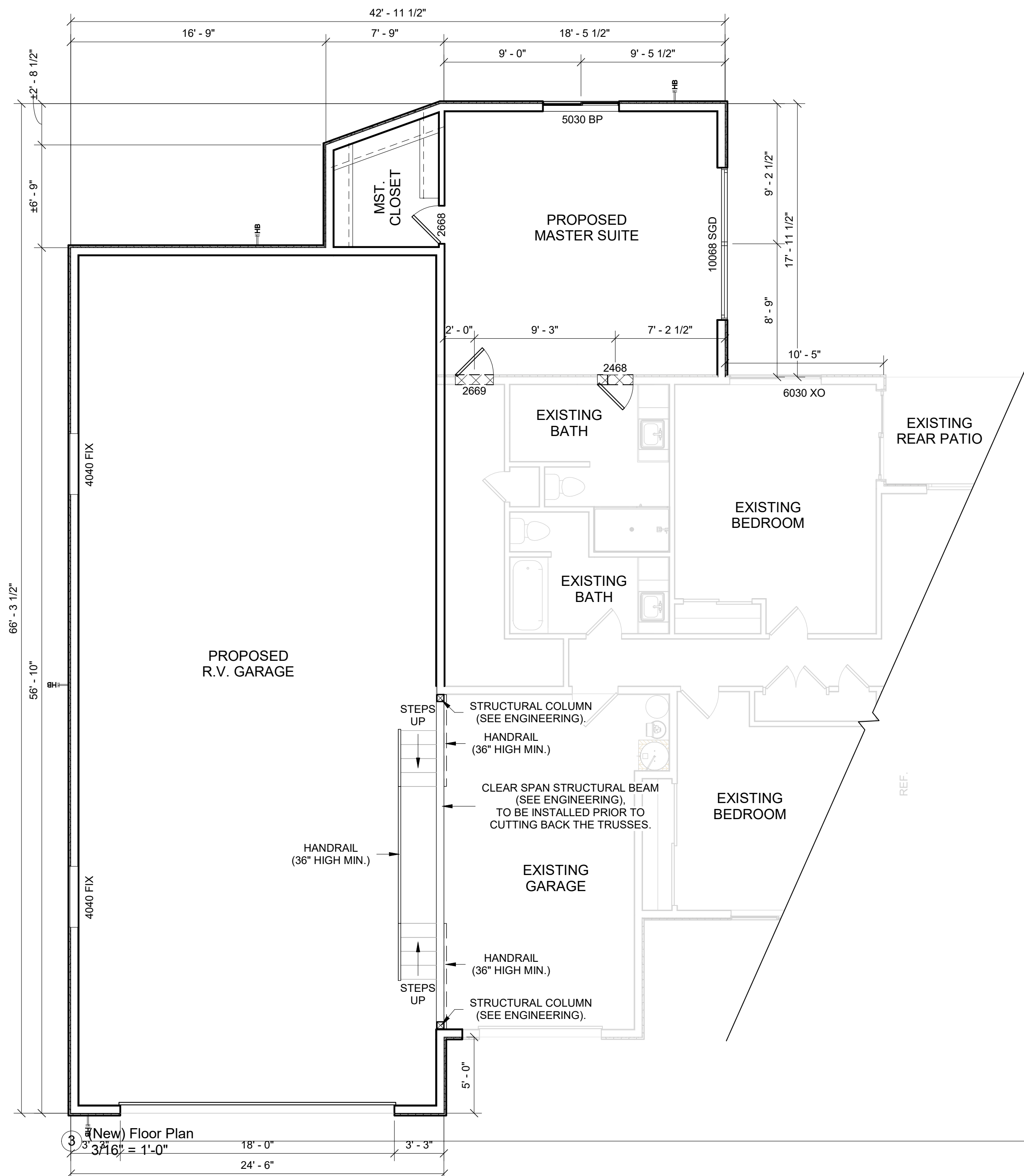
5 Flat Roof  
1" = N.T.S.

**NOTE:**  
ALL 2x6 EXTERIOR WALLS TO HAVE R-21 INSULATION.  
ALL 2x6 INTERIOR WALLS TO HAVE R-19 INSULATION.  
ASS 2x4 INTERIOR WALLS TO HAVE R-11 INSULATION.

ALL CONSTRUCTION WILL CONFORM TO 2012 IRC  
CODES LISTED BELOW:

- E3301 GENERAL ELEC
- E3302 BLDG. STRUCTURE PROTECTION
- E3303 INSPECTION & APPROVAL
- E3304 GENERAL EQUIPMENT REQUIREMENTS
- E3305 EQUIPMENT & CLEARANCES
- E3306 ELEC. CONDUCTORS & CONNECTIONS
- E3307 CONDUCTOR & TERMINAL IDENTIFICATION
- E3401 ELEC. DEFINITIONS
- E3501 GENERAL SERVICES
- E3601 BRANCH CIR. & FEEDER REQUIREMENTS
- E3602.9.1 MIN BRANCH CIR. FOR RANGES
- E3603.2 KITCHEN & DINING RECEPTACLES
- E3603.3 LAUNDRY CIR.
- E3603.4 BATHROOM BRANCH CIR.
- E3701 WIRE METHODS
- E3801 POWER & LIGHTING
- E3801.2 RECEPTACLE SPACING
- E3801.4 COUNTERTOP RECEPTACLES
- E3802 GROUND-FAULT & ARC-FAULT PROTECTION
- E3802.1.1 BEDROOM OUTLETS AFCI PROTECTION
- E3901 DEVICES & LUMINAIRES
- E3902.9 OUTDOOR LOCATION
- E3903.8 WET & DAMP LOCATIONS
- E4001 APPLIANCE
- E4001.5 DISCONNECTING MEANS
- E4109 HYDROMASSAGE BATHTUBS
- M1401 GENERAL HEATING & COOLING EQUIPMENT
- M1401.2 ACCESS
- R313 R313 SMOKE ALARMS

ALL GARAGE OUTLETS @ +18" A.F.F. (MIN.)



3 (New) Floor Plan  
3/16" = 1'-0"

FLOOR NOTES:

- (01) ALL CONSTRUCTION MUST COMPLY WITH THE CURRENT CODES LISTED BELOW, AS LOCALLY AMENDED, AND IS SUBJECT TO FIELD INSPECTION TO VERIFY COMPLIANCE.  
  
2012 INTERNATIONAL RESIDENTIAL CODE:  
CONSTRUCTION: R502 WOOD FLOOR FRAMING  
R602 WOOD WALL FRAMING  
R602.3 FASTENER SCHEDULE  
R602.3.2 TOP PLATE  
R602.8 FIRE BLOCKING
- (02) PROVIDE POST OFFICE-APPROVED ADDRESS NUMBERS ON THE DWELLING. ADDRESS SHALL BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE DWELLING.
- (03) IRC, R 807 & M1305.1.3 A/A 22X30" MIN. UNOBSTRUCTED AREA
- (04) DOOR FROM GARAGE TO RESIDENCE TO BE 1 3/8" SOLID CORE W/ AUTO CLOSURE AND MIN. 20 MINUTE RATING. (LABELLED)
- (05) 1 HR. FIRE RATED WALL BETWEEN GARAGE AND LIVING AREA WALL & GARAGE CEILING- 5/8" GYP. BOARD TYPE X BEARING WALLS AND ALL OTHER STRUCTURAL MEMBERS.
- (06) GLAZING IN INGRESS, AND SWINGING DOORS MUST BE SAFETY GLAZING.
- (07) SHOWER ENCLOSURES TO HAVE SHOWER RODS, TEMPERED GLASS OR APPROVED EQUAL. SHOWER AREA WALLS SHALL BE FINISHED WITH FIBER-CEMENT BACKER AND CERAMIC TILE OR EQUAL-TO HEIGHT OF 72" ABOVE THE DRAIN.
- (08) ALL CONSTRUCTION MUST COMPLY WITH 2012 IRC, AS LOCALLY AMENDED AND IS SUBJECT TO FIELD TEST.
- (09) INSPECTION TO VERIFY COMPLIANCE.
- (10) SLEEPING ROOM WINDOWS MUST CONFORM TO THE CURRENT IRC & L.H.C. AMENDMENTS.
- (11) APPLIANCES LOCATED IN THE VEHICLE PATH WITHIN GARAGES SHALL BE PROTECTED FROM DAMAGE.
- (12) THESE DRAWINGS ARE STRICTLY DIAGRAMMATIC, ANY AND ALL BEARING AND STRUCTURAL COMPONENTS ALONG WITH CONFIRMATION OF DIMENSIONS AND ENGINEERING ARE THE RESPONSIBILITY OF THE OWNER, ENGINEER, GENERAL CONTRACTOR AND/OR THE SUB-CONTRACTORS.

Rev #	DATE	By

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DRAWN BY: RMW  
CHECKED BY:  
DATE: 09/24/20  
SCALE: AS NOTED  
JOB NO. I2006  
SHEET: 04 OF: 08

A04